



**Adventist**  
Hinsdale Hospital  
Keeping you well

January 30, 2014

Illinois Health Facilities and Services Review Board  
525 West Jefferson Street  
Springfield, IL 62761

Permit: Illinois Health Facilities Planning Act 20 ILCS 3960  
Project: #12-078; Adventist Cancer Institute  
Permit Holders: Adventist Hinsdale Hospital and Adventist Health System/Sunbelt, Inc. d/b/a  
Adventist La Grange Memorial Hospital  
Permit Amount: \$48,004,041

Attn: Mike Constantino; Director of Project Review

On February 5, 2013, the Illinois Health Facilities Planning Board (the Board) approved the application for permit for the above referenced project. Please accept this letter as notification to the board that the applicant is in compliance with the permit requirement of 77 IL Adm. Code 1130 and the Annual Progress Report Part 1130.760 as disclosed below:

1. Percentage of the project finished – Based on the expenditures through December, 2014, of \$2,223,657, the project is approximately 5% completed. Please reference Exhibit #1 for a full schedule of construction stages completed and those to be completed.
2. Cost incurred to date – The costs incurred are \$2,223,657 and the anticipated expenditures are \$45,780,384. Please reference Exhibit #2 “Project Completion/Cost Summary” for a listing of project costs compared to the approved permit amount of \$48,004,041.
3. Current Information on financing for the project – There are no changes to the financing for the project.
4. Most recent Application and Certification for Payment for the construction contract – One of the three bid packages was recently signed and is included as Exhibit #3, however; the AIA G702 form is not yet available at this time, since payment has not yet been made.
5. Anticipated date of completion – The anticipated date of completion remains as June 30, 2015.

Project: # 12-078; Adventist Cancer Institute

**RECEIVED**

FEB 04 2014

HEALTH FACILITIES &  
SERVICES REVIEW BOARD



Please let me know if you need any additional information.

Sincerely,

Michael J. Goebel  
Chief Executive Officer



# Bulley & Andrews, LLC

## Adventist Cancer Institute - GMP Construction Schedule - Bid Package #1

ID	Task Name	Duration	Start	Finish	1st Half	2nd Half	1st Half	2nd Half
45	Award Interiors	15 days	Mon 5/12/14	Mon 6/8/14	1st Half	2nd Half	1st Half	2nd Half
46	Award Site Items	20 days	Mon 5/12/14	Mon 6/8/14	1st Half	2nd Half	1st Half	2nd Half
47	Submittals/Procurement	204 days	Fri 12/8/13	Wed 9/24/14	1st Half	2nd Half	1st Half	2nd Half
48	Steel shop drawings	40 days	Fri 12/8/13	Mon 2/2/14	1st Half	2nd Half	1st Half	2nd Half
49	Steel fabrications	70 days	Mon 5/12/14	Mon 5/12/14	1st Half	2nd Half	1st Half	2nd Half
50	Site Utility submittals	20 days	Wed 12/11/13	Thu 1/9/14	1st Half	2nd Half	1st Half	2nd Half
51	Concrete Foundation & rebar submittals	15 days	Thu 1/2/14	Wed 1/22/14	1st Half	2nd Half	1st Half	2nd Half
52	Concrete Foundation rebar fab	15 days	Thu 1/23/14	Wed 1/22/14	1st Half	2nd Half	1st Half	2nd Half
53	Concrete Slabs & rebar submittals	15 days	Thu 1/16/14	Wed 2/5/14	1st Half	2nd Half	1st Half	2nd Half
54	Concrete Slab rebar fab	15 days	Thu 2/6/14	Wed 2/26/14	1st Half	2nd Half	1st Half	2nd Half
55	Stone & Masonry shops	30 days	Mon 2/24/14	Fri 4/4/14	1st Half	2nd Half	1st Half	2nd Half
56	Stone & Masonry fab	50 days	Mon 4/7/14	Mon 6/16/14	1st Half	2nd Half	1st Half	2nd Half
57	Exterior Sheathing submittals	25 days	Wed 2/26/14	Tue 4/1/14	1st Half	2nd Half	1st Half	2nd Half
58	Curtain Wall shop dwgs	35 days	Tue 3/4/14	Mon 4/21/14	1st Half	2nd Half	1st Half	2nd Half
59	Curtain Wall fab	70 days	Tue 4/22/14	Wed 8/13/14	1st Half	2nd Half	1st Half	2nd Half
60	Elevator	80 days	Fri 2/28/14	Fri 6/6/14	1st Half	2nd Half	1st Half	2nd Half
61	Roofing Submittals / Procurement	40 days	Fri 3/7/14	Thu 5/1/14	1st Half	2nd Half	1st Half	2nd Half
62	RTU shop drawings	20 days	Mon 5/19/14	Mon 6/16/14	1st Half	2nd Half	1st Half	2nd Half
63	RTU fab	70 days	Tue 6/17/14	Wed 9/24/14	1st Half	2nd Half	1st Half	2nd Half
64	MEP Shop Drawings / Submittals	45 days	Mon 5/19/14	Tue 7/22/14	1st Half	2nd Half	1st Half	2nd Half
65	Electrical Gear shop dwgs	30 days	Mon 5/19/14	Mon 6/30/14	1st Half	2nd Half	1st Half	2nd Half
66	Electrical Gear fab	80 days	Tue 7/1/14	Wed 9/24/14	1st Half	2nd Half	1st Half	2nd Half
67	Light Gauge Truss shop dwgs	30 days	Tue 6/3/14	Tue 7/15/14	1st Half	2nd Half	1st Half	2nd Half
68	Light Gauge Truss fab	30 days	Wed 7/16/14	Tue 8/26/14	1st Half	2nd Half	1st Half	2nd Half
69	Interior / Finish Submittals	60 days	Tue 6/3/14	Tue 8/26/14	1st Half	2nd Half	1st Half	2nd Half
70	Early Demolition Package	20 days	Mon 12/23/13	Mon 1/20/14	1st Half	2nd Half	1st Half	2nd Half
71	Construction	421 days	Mon 2/3/14	Thu 9/24/15	1st Half	2nd Half	1st Half	2nd Half
72	Rough Site Work / Foundations	77 days	Mon 2/3/14	Thu 9/24/15	1st Half	2nd Half	1st Half	2nd Half
73	Mobilize to Site	1 day	Mon 2/3/14	Mon 2/3/14	1st Half	2nd Half	1st Half	2nd Half
74	Site Fencing / Construction Trailers	2 days	Tue 2/4/14	Wed 2/5/14	1st Half	2nd Half	1st Half	2nd Half
75	Create Temporary Road from Salt Creek Rd.	3 days	Thu 2/6/14	Mon 2/10/14	1st Half	2nd Half	1st Half	2nd Half
76	Install Silt Fencing	3 days	Thu 2/6/14	Mon 2/10/14	1st Half	2nd Half	1st Half	2nd Half
77	Clear/Grade Site	10 days	Thu 2/6/14	Wed 2/19/14	1st Half	2nd Half	1st Half	2nd Half
78	Site Layout	4 days	Thu 2/20/14	Tue 2/25/14	1st Half	2nd Half	1st Half	2nd Half
79	Site Utilities	20 days	Wed 2/26/14	Tue 3/25/14	1st Half	2nd Half	1st Half	2nd Half
80	Excavate Detention Pond	25 days	Wed 2/26/14	Tue 4/1/14	1st Half	2nd Half	1st Half	2nd Half
81	Build-up Building Pad	10 days	Wed 3/12/14	Tue 3/25/14	1st Half	2nd Half	1st Half	2nd Half
82	Blow Foundations	40 days	Wed 3/26/14	Tue 5/20/14	1st Half	2nd Half	1st Half	2nd Half
83	Core & Shell	173 days	Wed 5/21/14	Mon 1/28/15	1st Half	2nd Half	1st Half	2nd Half
84	Set Structural Steel	55 days	Wed 5/21/14	Thu 8/7/14	1st Half	2nd Half	1st Half	2nd Half
85	Concrete Vault Work	45 days	Tue 6/17/14	Tue 8/19/14	1st Half	2nd Half	1st Half	2nd Half
86	Place Roof Slab	5 days	Fri 7/25/14	Thu 7/31/14	1st Half	2nd Half	1st Half	2nd Half
87	Place Second Floor Slab	10 days	Wed 7/30/14	Tue 8/12/14	1st Half	2nd Half	1st Half	2nd Half
88	Under Slab Plumbing	15 days	Tue 7/1/14	Tue 7/22/14	1st Half	2nd Half	1st Half	2nd Half

Project: Initial schedule  
Date: Thu 1/16/14

Task Legend:

- Baseline
- Milestone
- Task Progress
- Critical Task
- Task
- Task Progress
- Critical Task
- Task
- Task Progress
- Critical Task

Legend:

- Baseline
- Milestone
- Summary
- Baseline Milestone
- Summary
- Baseline Milestone
- Summary
- Baseline Milestone
- Summary
- Baseline Milestone
- Summary

Page 2

Bulley & Andrews, LLC

# Bulley & Andrews, LLC

## Adventist Cancer Institute - GMP Construction Schedule - Bid Package #1

ID	Task Name	Duration	Start	Finish
89	SOG	10 days	Wed 8/6/14	Tue 8/19/14
90	Exterior Stud Framing	30 days	Wed 8/13/14	Wed 9/24/14
91	Exterior Sheathing & Air Barrier	30 days	Thu 8/14/14	Wed 10/15/14
92	Set Light Gauge Trusses	8 days	Thu 9/25/14	Mon 10/06/14
93	Masonry Cladding	65 days	Thu 9/18/14	Thu 12/18/14
94	Install Roofing	25 days	Fri 11/28/14	Mon 1/5/15
95	Set RTU's	7 days	Fri 11/28/14	Mon 12/22/14
96	Install Curtainwall, Storefront & Entrances	40 days	Fri 11/28/14	Mon 1/26/15
97	Shell & Core Complete	0 days	Mon 12/8/15	Mon 12/8/15
98	Interior construction	183 days	Fri 12/19/14	Fri 8/7/15
99	First Floor Work	163 days	Fri 12/19/14	Fri 8/7/15
100	MEP ceiling rough	20 days	Fri 12/19/14	Mon 1/19/15
101	Door Frames	8 days	Tue 1/15/15	Tue 1/15/15
102	Frame Walls	15 days	Wed 1/7/15	Tue 1/27/15
103	MEP Wall Rough	25 days	Wed 1/21/15	Tue 2/24/15
104	Slab Moisture Mitigation	15 days	Wed 1/28/15	Tue 2/17/15
105	Drywall	25 days	Wed 2/18/15	Tue 3/24/15
106	Prime Paint	10 days	Mon 3/23/15	Fri 4/3/15
107	Ceiling Grid	15 days	Mon 4/6/15	Fri 4/24/15
108	MEP ceiling drops	15 days	Wed 4/15/15	Tue 5/5/15
109	ACT/Drywall Ceilings	12 days	Fri 4/24/15	Mon 5/11/15
110	Millwork	30 days	Wed 4/29/15	Wed 6/10/15
111	MEP trim	10 days	Tue 5/12/15	Tue 5/26/15
112	Flooring	25 days	Wed 5/20/15	Wed 6/24/15
113	Doors & Hardware	20 days	Thu 6/18/15	Wed 7/15/15
114	Finish Paint	12 days	Thu 7/16/15	Fri 7/31/15
115	Final Clean	5 days	Mon 8/3/15	Fri 8/7/15
116	Second Floor Work	143 days	Tue 1/13/15	Fri 7/31/15
117	MEP ceiling rough	8 days	Tue 1/13/15	Thu 1/22/15
118	Door Frames	5 days	Tue 1/20/15	Mon 1/26/15
119	Frame Walls	8 days	Fri 1/23/15	Tue 2/3/15
120	MEP Wall Rough	15 days	Mon 2/2/15	Fri 2/20/15
121	Slab Moisture Mitigation	5 days	Wed 2/18/15	Tue 2/24/15
122	Drywall	15 days	Wed 2/25/15	Tue 3/17/15
123	Prime Paint	5 days	Tue 3/17/15	Mon 3/23/15
124	Ceiling Grid	10 days	Fri 3/20/15	Thu 4/2/15
125	MEP Ceiling Drops	10 days	Tue 3/23/15	Mon 4/13/15
126	ACT/Drywall Ceilings	7 days	Mon 4/13/15	Tue 4/21/15
127	Millwork	10 days	Tue 4/14/15	Mon 4/27/15
128	MEP trim	7 days	Fri 5/1/15	Mon 5/11/15
129	Flooring	10 days	Tue 5/5/15	Mon 5/18/15
130	Doors & Hardware	10 days	Thu 6/4/15	Wed 6/17/15
131	Finish Paint	7 days	Tue 7/7/15	Wed 7/15/15
132	Final Clean	2 days	Thu 7/30/15	Fri 7/31/15

Project: Initial schedule  
Date: Thu 1/16/14

Task

- Task Progress
- Critical Task
- Critical Task Progress

Baseline

- Milestone
- Baseline Milestone
- Summary

Task

- Task Progress
- Critical Task
- Critical Task Progress

Roll Up Task

- Roll Up Milestone
- Baseline Summary

Task

- Task Progress
- Critical Task
- Critical Task Progress

Roll Up Baseline

- Roll Up Milestone
- Baseline Summary

Task

- Task Progress
- Critical Task
- Critical Task Progress

External Tasks

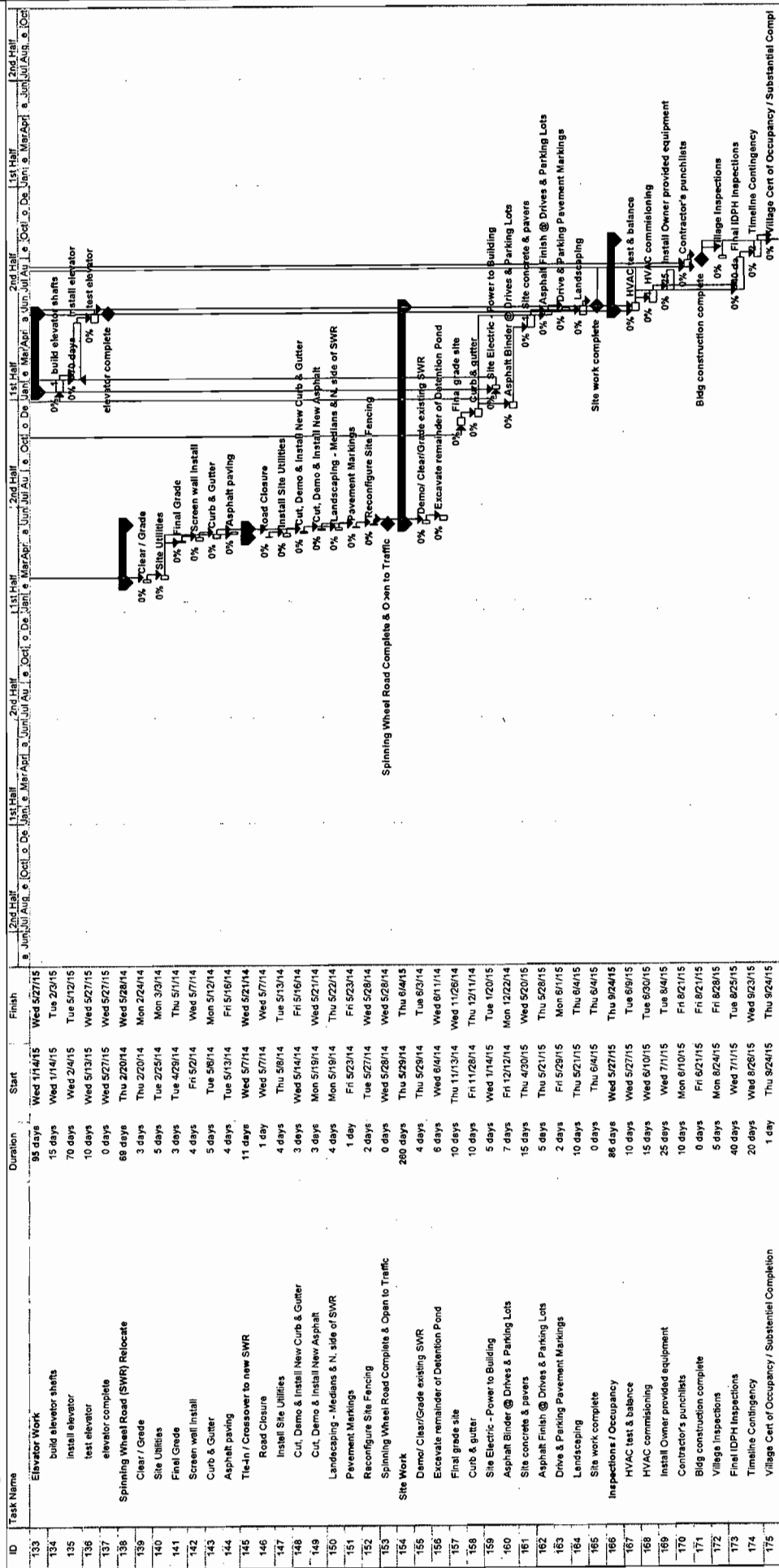
- Project Summary
- Group By Summary
- Deadline

Task

- Task Progress
- Critical Task
- Critical Task Progress

# Bulley & Andrews, LLC

## Adventist Cancer Institute - GMP Construction Schedule - Bid Package #1



**Task** **Task Progress** **Critical Task** **Critical Task Progress**

**Baseline** **Milestone** **Baseline Milestone** **Summary**

**Rolled Up Task** **Baseline Summary**

**External Tasks** **Project Summary** **Group By Summary** **Deadline**

**Legend:**  
 Rolled Up Baseline   
 Rolled Up Baseline Milestone   
 Rolled Up Progress   
 Split   
 Milestone   
 Summary

Project: Initial schedule  
 Date: Thu 11/18/14

Bulley & Andrews, LLC Page 4 Exhibit 1

Exhibit #2  
 Adventist Cancer Institute - Project #12-078  
 Project Completion/Cost Summary  
 January 24, 2014

Description	Total Clinical Costs Per Permit	Total Non-Clinical Costs Per Permit	Total Project Cost Per Permit	Clinical Expenditures to Date	Non-Clinical Expenditures to Date	Total Expenditures to Date	Variance Between Permit and Expenditures to Date	% Completed
Pre Planning	24,863	20,137	45,000	21,215	17,357	38,572	-6,428	86%
Site Survey and Soil Investigation	19,338	15,562	35,000	39,384	32,223	71,607	36,607	100%
Site Preparation*	662,900	536,929	1,199,829	0	0	0	-1,199,829	0%
Off Site Work	0	0	0	0	0	0	0	0%
New Construction Contracts	15,530,015	6,312,057	21,842,072	0	0	0	-21,842,072	0%
Modernization Contracts	0	0	0	0	0	0	0	0%
Contingencies	1,079,668	874,312	1,953,980	0	0	0	-1,953,980	0%
Architectural/Engineering Fees	733,179	593,841	1,327,020	620,628	507,786	1,128,414	-198,606	85%
Consulting and Other Fees	968,828	784,707	1,753,535	495,716	405,585	901,301	-852,234	51%
Moveable or Other Equipment	14,766,939	500,000	15,266,939	43,962	1,500	45,462	-15,221,477	0%
Bond Issuance Expense	0	0	0	0	0	0	0	0%
Net Interest Expense	453,054	366,954	820,008	0	0	0	-820,008	0%
Fair Market Value of Leased Space or Equipment	0	0	0	0	0	0	0	0%
Other Costs to be Capitalized	2,077,764	1,682,894	3,760,658	21,066	17,235	38,301	-3,722,357	1%
<b>Total Costs</b>	<b>36,316,548</b>	<b>11,687,493</b>	<b>48,004,041</b>	<b>1,241,969</b>	<b>981,688</b>	<b>2,223,657</b>	<b>-45,780,384</b>	<b>5%</b>

\* Included in construction contract

 **AIA** Document A133™ – 2009 Exhibit A

**Guaranteed Maximum Price Amendment**

for the following **PROJECT**:  
(Name and address or location)

Adventist Cancer Institute (formally referred to in the AIA A133 as the Ogden Campus Ambulatory Care Center); Bid Package #1 Only.  
421 East Ogden Ave.  
Hinsdale, Illinois 60521

**THE OWNER**:  
(Name, legal status and address)

Adventist Hinsdale Hospital  
120 North Oak Street  
Hinsdale, Illinois 60521

**THE CONSTRUCTION MANAGER**:  
(Name, legal status and address)

Bulley & Andrews, LLC  
1755 West Armitage Avenue  
Chicago, Illinois 60622

**ARTICLE A.1**

**§ A.1.1 Guaranteed Maximum Price**

Pursuant to Section 2.2.6 of the revised AIA A133 Agreement dated March 6, 2013, the Owner and Construction Manager hereby amend the Agreement to establish a Guaranteed Maximum Price ("GMP") for Bid Package #1 (footings, foundations, site work, site utilities, building steel, building concrete, and asphalt paving). As agreed by the Owner and Construction Manager, the Guaranteed Maximum Price for Bid Package #1 is an amount that the Contract Sum shall not exceed. The Contract Sum consists of the total of the Construction Manager's Fee, and the Cost of the Work, as that term is defined in Article 6 of this Agreement.

**§ A.1.1.1** The Contract Sum for Bid Package #1 is guaranteed by the Construction Manager not to exceed Six Million Four Hundred Thousand One Hundred Three and 00/100 (**\$6,404,103.00**), subject to additions and deductions by Change Order as provided in the Contract Documents.

**§ A.1.1.2 Itemized Statement of the Guaranteed Maximum Price.** Provided below is an itemized statement of the Guaranteed Maximum Price for Bid Package #1 organized by trade categories, allowances, contingencies, alternates, the Preconstruction Fee (separate and not included in the GMP), the Construction Manager's Fee, general conditions itemization with not-to-exceed total, and other items that comprise the Guaranteed Maximum Price.

(Provide below or reference an attachment.)

Preconstruction Fee is: **\$33,500** (which is not included in the GMP below)  
Construction Manager's Fee is: **\$104,623.00** (which is included in the GMP below)  
Guaranteed Maximum Price for Bid Package #1 is: **\$6,404,103.00**.

**ADDITIONS AND DELETIONS:**

The author of this document has added information needed for its completion. The author may also have revised the text of the original AIA standard form. An *Additions and Deletions Report* that notes added information as well as revisions to the standard form text is available from the author and should be reviewed. A vertical line in the left margin of this document indicates where the author has added necessary information and where the author has added to or deleted from the original AIA text.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

AIA Document A201™-2007, General Conditions of the Contract for Construction, is adopted in this document by reference. Do not use with other general conditions unless this document is modified.



And as detailed in attached Exhibit "A", the GMP Breakdown.

§ A.1.1.3 The Guaranteed Maximum Price is based on the following alternates, if any, which are described in the Contract Documents and are hereby accepted by the Owner:  
(State the numbers or other identification of accepted alternates. If the Contract Documents permit the Owner to accept other alternates subsequent to the execution of this Amendment, attach a schedule of such other alternates showing the amount for each and the date when the amount expires.)

Attached as Exhibit "B".

§ A.1.1.4 Allowances included in the Guaranteed Maximum Price, if any:  
(Identify allowance and state exclusions, if any, from the allowance price.)

Item	Price (\$0.00)
Attached as Exhibit "C".	

(Paragraphs deleted)

§ A.1.1.5, Qualifications, if any, on which the Guaranteed Maximum Price is based:

Attached as Exhibit "D".

§ A.1.1.6 The Guaranteed Maximum Price is based upon the following Supplementary and other Conditions of the Contract:

Document	Title	Date	Pages
Attached as Exhibit "E".			

§ A.1.1.7 The Guaranteed Maximum Price is based upon the following Specifications:  
(Either list the Specifications here, or refer to an exhibit attached to this Agreement.)

Attached as Exhibit "F".

Section	Title	Date	Pages
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§ A.1.1.8 The Guaranteed Maximum Price is based upon the following Drawings:  
(Either list the Drawings here, or refer to an exhibit attached to this Agreement.)

Attached as Exhibit "G".

Number	Title	Date
--------	-------	------

§ A.1.1.9 The Guaranteed Maximum Price is based upon the following other documents and information:  
(List any other documents or information here, or refer to an exhibit attached to this Agreement.)

The general conditions costs itemization for the entire Project is attached as Exhibit "H", with a not-to-exceed total of \$1,057,177.00 ("Project General Conditions Costs"). The portion of the Project General Conditions Costs allocated to Bid Package #1 and to this GMP Amendment No. 1 is \$421,392.00 ("Bid Package #1 General Conditions Costs"). Any General Conditions costs incurred by the Construction Manager for the Bid Package #1 Work in excess of the Bid Package #1 General Conditions Costs shall be borne by and paid solely by Construction Manager.

Completion Schedule, attached as Exhibit "I".

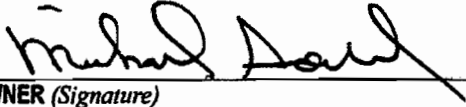
Schedule of Values, attached as Exhibit "J".

Unit Rates, if any, attached as Exhibit "K".

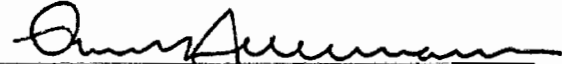
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**ARTICLE A.2**

**§ A.2.1** The date of Substantial Completion for Bid Package #1 established by this Amendment is **November 14, 2014**. Construction Manager shall achieve Final Completion within 30 days after Substantial Completion.



**OWNER** (Signature)



**CONSTRUCTION MANAGER** (Signature)

**MICHAEL J. GOEBEL,**  
(Printed name and title) **CEO**

**PAUL HELLERMANN, PRESIDENT**  
(Printed name and title)

Int.

## EXHIBIT "A"

**BULLEY &  
ANDREWS****Adventist Cancer Institute Budget**  
Bid Package 1 / GMP Budget  
31-Oct-13

Budget Total		
Trade Description	Oct 31, 2013 Budget	Comments
1 General Conditions	\$ 421,392	
2 Surveying	\$ 58,000	
3 Winter Conditions ALLOWANCE	\$ 220,000	Reduced to \$200,000 through VE process
4 Job Photos	\$ 6,500	
5 Floor Mitigation	\$ -	
6 Final Clean	\$ -	
7 Premium Time	\$ 3,000	
8 Comcast Service	\$ 2,000	
9 Trash Chute	\$ -	
10 Material Lift	\$ 5,000	
11 Webcam	\$ 4,500	Eliminated through VE process
12 Pre-Con Services	\$ 15,000	Eliminated from BP#1 through VE process
13 Temporary Utilities	\$ 50,000	
14 Street Cleaning	\$ 15,000	
15 Dewatering	\$ 15,000	
16 Temporary Fencing	\$ 15,000	
17 Street Barricades & Signage	\$ 100,000	
18 Temporary Roads	\$ 30,000	
19 Safety Rails, Flagmen,	\$ 142,234	
20 Unsuitable/Contaminated Soils ALLOWANCE	\$ 100,000	
21 Site Utility	\$ 516,696	
22 Excavation	\$ 559,028	
23 Site Concrete	\$ 235,340	
24 Asphalt Paving	\$ 421,000	
25 Building Concrete	\$ 1,380,000	
26 Structural Steel	\$ 1,843,000	
27 Waterproofing	\$ 24,250	
28 Sealants	\$ 8,000	
29 Electrical	\$ 25,000	
30 SUBTOTAL	\$ 5,992,940	
31 Permits	\$ 25,000	
32 Fee (1.75%)	\$ 105,314	
33 Insurance (1.0%)	\$ 62,151	
34 Performance & Payment Bond	\$ 42,728	
35 Sub Guard (1.5%)	\$ 91,849	
36 Subtotal without Contingency	\$ 6,319,980	
37 Contingency (2%)	\$ 126,399	
38 GRAND TOTAL	\$ 6,446,379	

## EXHIBIT "A"

**BULLEY &  
ANDREWS****Adventist Cancer Institute Budget  
Bid Package 1 / FINAL GMP Budget**

REV 12/20/2013

ALL VE ITEMS INCORPORATED

<b>Budget Total</b>	
<b>Trade Description</b>	<b>Budget</b>
1 General Conditions	\$ 421,392
2 Surveying	\$ 56,000
3 Winter Conditions ALLOWANCE	\$ 200,000
4 Job Photos	\$ 6,500
5 Floor Mitigation	\$ -
6 Final Clean	\$ -
7 Premium Time ALLOWANCE	\$ 3,000
8 Comcast Service	\$ 2,000
9 Trash Chute	\$ -
10 Material Lift	\$ 5,000
11 Webcam	\$ -
12 Pre-Con Services	\$ -
13 Temporary Utilities ALLOWANCE	\$ 50,000
14 Street Cleaning	\$ 15,000
15 Dewatering	\$ 15,000
16 Temporary Fencing	\$ 15,000
17 Street Barricades & Signage	\$ 100,000
18 Temporary Roads	\$ 30,000
19 Safety Rails, Flagmen,	\$ 142,234
20 Unsuitable/Contaminated Soils ALLOWANCE	\$ 100,000
21 Demolition	\$ -
22 Site Utility	\$ 516,696
23 Excavation	\$ 559,028
24 Site Concrete	\$ 235,340
25 Asphalt Paving	\$ 421,000
26 Building Concrete	\$ 1,360,000
27 Structural Steel	\$ 1,643,000
28 Waterproofing	\$ 24,250
29 Sealants	\$ 8,000
30 Signage	\$ -
31 Flag Poles	\$ -
32 Parking Controls	\$ -
33 Electrical	\$ 25,000
34 SUBTOTAL	\$ 5,953,440
35 Permits	\$ 25,000
36 Fee (1.75%)	\$ 104,623
37 Insurance (1.0%)	\$ 61,743
38 Performance & Payment Bond	\$ 42,481
39 Sub Guard (1.5%)	\$ 91,246
40 Subtotal without Contingency	\$ 6,278,533
41 Contingency (2%)	\$ 125,570
42 GRAND TOTAL	\$ 6,404,103

# **BULLEY & ANDREWS**

**General Contractors Since 1891**

## **EXHIBIT B**

**GMP Alternates – Bid Package #1  
December 20, 2013**

**Adventist Cancer Institute  
421 E. Ogden Ave.  
Hinsdale, IL 60521**

1. THERE ARE NO ALTERNATES ASSOCIATED WITH BID PACKAGE #1.

**BULLEY & ANDREWS**  
General Contractors Since 1891

**EXHIBIT "C"**  
**GMP Allowances – Bid Package #1**  
**December 20, 2013**

Adventist Cancer Institute  
421 E. Ogden Ave.  
Hinsdale, IL 60521

**Allowances**

1. Winter Conditions	\$ 200,000.00
2. Premium Time	\$ 3,000.00
3. Unsuitable / Contaminated Soils	\$ 100,000.00
4. Temporary Utilities	\$ 50,000.00
5. Dewatering	<u>\$ 15,000.00</u>
Total:	\$ 368,000.00

**BULLEY & ANDREWS**  
General Contractors Since 1891

**EXHIBIT "D"**  
**GMP Qualifications – Bid Package #1**  
**December 20, 2013**

Adventist Cancer Institute  
421 E. Ogden Ave.  
Hinsdale, IL 60521

**General**

1. This proposal is based on Earl Swensson Associates, Inc. Bid Package #1 drawings and specifications dated September 20, 2013, Addendum #1 dated October 16, 2013, and bid RFIs 1 thru 3. Unless noted otherwise, we do not include any work not shown on the drawings.
2. General Conditions costs are based on an 18-month construction schedule with one month of added time for commissioning. The inclusion of a 20 work-day timeline contingency shown in the project schedule is not accounted for in the current General Conditions costs. The timeline contingency and/or delays to the start date as identified per the contract schedule may require adjustment of the General Conditions costs in future contract amendments. At the time of this GMP Amendment the actual construction start is dependent on (1) the building permit acquisition, (2) completion of Owner land title legalities, and (3) weather conditions. An adjusted timeline is anticipated for either Amendment No. 2 or Amendment No.3.
3. We include a performance and payment bond in this proposal for Bulley & Andrews. We exclude individual subcontractor payment and performance bonds. We include costs for a Subguard program.
4. We have included B&A's standard insurance coverages. We exclude Builders Risk Insurance and any related deductibles.
5. We have included a breakdown of our proposal to be used for accounting purposes only.
6. Our price is figured on normal working hours (i.e. 7:00 AM – 3:30 PM, or 8:00AM – 4:30PM, Monday-Friday). We included an allowance of \$3,000 for premium time work.
7. We exclude all expeditor fees, development services fees, plan review fees and any other associated costs. A \$25,000 allowance has been included to use toward building permit fees.
8. We exclude all costs and schedule delays associated with the discovery of hazardous materials (asbestos, PCB's, lead paint, underground storage tanks, etc.), mold or conditions conducive to mold.
9. We exclude all utility fees (i.e. gas, water, electric), including fees for bringing in new services, meters, etc.
10. We include a \$50,000 allowance to be used towards utility fees (i.e. gas, water, electric, phone, internet) for all temporary utilities to be used for construction operations.
11. We exclude sales tax.
12. We exclude all independent testing services (i.e. concrete, soils & steel).
13. C.A.D. backgrounds, including 2-D and 3-D CAD backgrounds, are to be provided by the design team for BIM coordination and as-built drawings at no cost to the Contractor or Subcontractors.
14. We exclude site security during non-work hours.
15. We exclude deep foundation systems, sheeting, shoring, or underpinning work.
16. We included a fifteen (15) calendar day review period in our schedule for the Architect and its consultants for each submittal. We included a seven (7) calendar day review period in our schedule for the Architect and its consultants for each re-submittal (assuming the initial rejected submittal was for the specified product).
17. Our schedule is based on RFI responses being received within seven (7) calendar days.
18. We exclude costs for Village and IDPH corrections or changes not contained in the contract drawings or specifications.
19. We exclude all costs for underground, hidden or unforeseen conditions or obstructions.
20. All excavations are limited to design depths only and we assume a balanced site and that all soils are considered suitable at the designed depths.

**BULLEY & ANDREWS**  
General Contractors Since 1891

21. We do not include import of structural fill/stone, we assume on site soils will be used for building pad.
22. It is assumed that at the completion of demolition activities the infill of the basement from the existing building on site will be left at an elevation of 660'. Any additional fill required should the elevation of the backfill not reach 660' shall be performed on a unit cost basis agreeable to both the Owner and Bulley & Andrews, LLC.
23. Excavations shall be down to designed sub grade per the bid drawings. We included an allowance of \$100,000 for removal of unsuitable soils below slab on grade and concrete pavement areas. If such condition exists, additional work shall be performed on a unit cost basis agreeable to both the Owner and Bulley & Andrews, LLC.
24. All work associated with excavation, handling, backfilling and/or disposal of contaminated soils or obstructions is not included.
25. We exclude disposal charges and additional trucking required for urban/ "non-manifested special waste".
26. We exclude well pointing or major site dewatering. Surface drainage and ground water removal is included.
27. We exclude any camber in structural steel decks. If camber is desired by the project structural engineer, the project structural engineer should specify the required camber.
28. ESa Addendum #2 dated November 27, 2013 has not been incorporated into the GMP. If cost and/or timeline implications result they will be addressed as a change order to the GMP if necessary.



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**EXHIBIT E**  
**GMP Supplementary Conditions – Bid Package #1**  
**December 20, 2013**

Adventist Cancer Institute  
421 E. Ogden Ave.  
Hinsdale, IL 60521

1. THERE ARE NO SUPPLEMENTARY AND/OR OTHER CONDITIONS OF THE CONTRACT ASSOCIATED WITH BID PACKAGE #1.

**EXHIBIT "F"**

**SPECIFICATION FOR**  
**ADVENTIST CANCER CENTER**  
**EARLY CIVIL/STRUCTURAL RELEASE**  
**BID PACKAGE NO. 1**

**HINSDALE, ILLINOIS**

**JOB NO. 12054.00**

**SEPTEMBER 20, 2013**

**ESa** | **Earl Swensson Associates, Inc.**  
**richard l. miller, architect**

2100 West End Avenue, Suite 1200  
Vanderbilt Plaza  
Nashville, Tennessee 37203

615/329-9445  
615/329-0046 FAX  
[www.esarch.com](http://www.esarch.com)

Note: This is a consolidated index included for convenience which contains the various Specification Sections that may or may not be contracted through the Architect.

\* Items with asterisk are issued for reference only (Preliminary - Not For Construction).

**DIVISION 00 - BIDDING AND CONTRACT REQUIREMENTS**

Section 000000	Cover Sheet	ESa
Section 000050	Table of Contents	ESa
Section 000107	Seals Page	ESa
Section 003132	Geotechnical Data	ESa
Section 005200	Agreement Form	ESa
Section 009700	General Conditions of the Contract – 2007 Edition	ESa

**DIVISION 01 - GENERAL REQUIREMENTS**

Section 011000	Summary	ESa
Section 012400	Seismic Requirements	ESa
Section 012500	Substitution Procedures	ESa
Section 012520	Weather Delays	ESa
Section 012600	Contract Modification Procedures	ESa
Section 013100	Project Management and Coordination	ESa
Section 013200	Construction Progress Documentation	ESa
Section 013300	Submittal Procedures	ESa
Section 013324	Structural Submittals	SDG
Section 014000	Quality Requirements	ESa
Section 014200	References	ESa
Section 014524	Structural Special Inspections	SDG
Section 015000	Temporary Facilities and Controls	ESa
Section 016000	Product Requirements	ESa
Section 017300	Execution	ESa
Section 017329	Cutting and Patching	ESa
Section 017700	Closeout Procedures	ESa
Section 017839	Project Record Documents	ESa

**DIVISION 02 - EXISTING CONDITIONS**

Not Used.

**DIVISION 03 – CONCRETE**

Section 031000	Concrete Forming and Accessories	SDG
Section 032000	Concrete Reinforcing	SDG
Section 033000	Cast-In-Place Concrete	SDG
Section 036200	Non-Shrink Grouting	SDG

**DIVISION 04 - MASONRY**

Not Used.

**DIVISION 05 - METALS**

Section 051200	Structural Steel Framing	SDG
Section 051250	Architecturally Exposed Structural Steel	SDG
Section 053100	Steel Decking	SDG
Section 054400	Cold-Formed Steel Trusses	SDG
* Section 055000	Metal Fabrications	ESa
* Section 055100	Metal Stairs	ESa

**DIVISION 06 - WOOD, PLASTICS, AND COMPOSITES (CARPENTRY)**

Not Used.

**DIVISION 07 - THERMAL & MOISTURE PROTECTION**

Section 071326	Self-Adhering Membrane	ESa
Section 072716	Slab-On-Grade/Underslab Vapor Retarder	ESa
* Section 078100	Applied Fireproofing	ESa

**DIVISION 08 - DOORS & WINDOWS**

Not Used.

**DIVISION 09 - FINISHES**

Not Used.

**DIVISION 10 - SPECIALTIES**

Not Used.

**DIVISION 11 - EQUIPMENT**

* Section 111300	Loading Dock Equipment	ESa
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**DIVISION 12 - FURNISHINGS**

Not Used.

**DIVISION 13 - SPECIAL CONSTRUCTION**

Not Used.

**DIVISION 14 - CONVEYING SYSTEMS**

* Section 142400	Hydraulic Elevators	ESa
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**DIVISION 21 - FIRE SUPPRESSION**

Not Used.

**DIVISION 22 – PLUMBING**

Section 221113	Water Distribution Piping	EEA
Section 221313	Facility Sanitary Sewers	EEA

**DIVISION 23 - HEATING VENTILATING AND AIR CONDITIONING**

Not Used.

**DIVISION 25 – INTEGRATED AUTOMATION**

Not Used.

**DIVISION 26 – ELECTRICAL**

Not Used.

**DIVISION 27 – COMMUNICATIONS**

Not Used.

**DIVISION 28 - ELECTRONIC SAFETY AND SECURITY**

Not Used.

**DIVISION 31 - EARTHWORK**

Section 311000	Site Clearing	EEA
Section 312000	Earth Moving	EEA
Section 312318	Earthwork for Structures	SDG

**DIVISION 32 - EXTERIOR IMPROVEMENTS**

Section 321216	Asphalt Paving	EEA
Section 321313	Concrete Paving	EEA

**DIVISION 33 – UTILITIES**

Section 334100	Storm Utility Drainage Piping	EEA
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END OF SECTION 000050

## EXHIBIT "G"

Adventist Cancer Institute  
Bid Package #1 Drawings  
September 20, 2013

### GENERAL

61.00A COVER SHEET EARLY RELEASE  
61.01A INDEX SHEET EARLY RELEASE

### CIVIL - SPINNING WHEEL MODIFICATIONS

SM1.00 SPINNING WHEEL ROAD DEMOLITION PLAN  
SM2.00 SPINNING WHEEL ROAD GEOMETRY AND UTILITY PLAN  
SM3.00 SPINNING WHEEL ROAD GRADING, PAVING AND EROSION CONTROL PLAN  
SM4.00 SPINNING WHEEL ROAD DETAILS

### CIVIL - ADVENTIST CANCER INSTITUTE SITE DRAWINGS

C1.00 SITE DEMOLITION PLAN  
C2.00 SITE GEOMETRY PLAN  
C3.00 SITE UTILITY PLAN  
C4.00 SITE GRADING AND PAVING PLAN  
C5.00 SOIL EROSION AND SEDIMENT CONTROL PLAN  
C6.00 SITE WORK DETAILS  
C6.01 SITE WORK DETAILS  
C6.02 SITE WORK DETAILS  
C6.03 SITE WORK DETAILS

### STRUCTURAL

S0.01 STRUCTURAL NOTES STRUCTURAL SHEET INDEX and STRUCTURAL ABBREVIATIONS  
S0.02 STRUCTURAL QUALITY ASSURANCE PLAN  
S0.03 WIND PRESSURE DIAGRAM  
S1.10 FOUNDATION PLAN - PART "A"  
S1.11 FOUNDATION PLAN - PART "A"  
S1.20 SECOND FLOOR FRAMING PLAN - PART "A"  
S1.20R SECOND FLOOR COMPOSITE SLAB REINFORCEMENT PLAN - PART "A"  
S1.21 SECOND FLOOR FRAMING PLAN - PART "B"  
S1.21R SECOND FLOOR COMPOSITE SLAB REINFORCEMENT PLAN - PART "B"  
S1.22 LOW CANOPY FRAMING PLANS  
S1.30 ROOF FRAMING PLAN  
S1.30R ROOF COMPOSITE SLAB REINFORCEMENT PLAN  
S1.31 DRIVE THRU CANOPY FRAMING PLANS - PART "A" AND "B"  
S1.40 PENTHOUSE FRAMING PLANS  
S2.00 COLUMN SCHEDULE and DETAILS  
S3.00 FOUNDATION SECTIONS and DETAILS  
S3.01 FOUNDATION SECTIONS and DETAILS  
S3.02 FOUNDATION SECTIONS and DETAILS  
S3.03 FOUNDATION SECTIONS and DETAILS  
S3.04 FOUNDATION SECTIONS and DETAILS  
S3.0 FOUNDATION SECTIONS and DETAILS  
S3.11 FOUNDATION SECTIONS and DETAILS  
S4.00 FRAMING SECTIONS and DETAILS  
S4.01 FRAMING SECTIONS and DETAILS  
S4.02 FRAMING SECTIONS and DETAILS  
S4.03 FRAMING SECTIONS and DETAILS  
S4.04 FRAMING SECTIONS and DETAILS  
S4.05 NOT USED  
S4.06 NOT USED  
S4.07 NOT USED  
S4.08 FRAMING SECTIONS and DETAILS  
S4.09 FRAMING SECTIONS and DETAILS  
S4.10 FRAMING SECTIONS and DETAILS  
S4.11 FRAMING SECTIONS and DETAILS  
S4.12 FRAMING SECTIONS and DETAILS  
S5.00 MOMENT FRAME DETAILS  
S5.01 MOMENT FRAME DETAILS  
S5.02 MOMENT FRAME DETAILS  
S6.00 OWNER FURNISHED EQUIPMENT SECTIONS and DETAILS

LANDSCAPE - FOR REFERENCE ONLY (NOT FOR CONSTRUCTION)

L1.0	TREE INVENTORY PLAN
L1.1	TREE INVENTORY & ANALYSIS TABLE
L2.0	OVERALL SITE PLAN
L2.1	SPINNING WHEEL ROAD NORTH/SOUTH LANDSCAPE PLANTING PLAN
L2.2	SPINNING WHEEL ROAD SECTION
L2.3	FOUNDATION PLANTING PLAN
L2.4	NORTH PROPERTY LINE LANDSCAPE BUFFER PLAN
L2.5	FOUNDATION PLANTING PLAN

ARCHITECTURAL - FOR REFERENCE ONLY (NOT FOR CONSTRUCTION)

A1.01	FIRST FLOOR PLAN - ORIENTATION
A1.01AD	FIRST FLOOR PLAN PART A - DIMENSIONED
A1.01BD	FIRST FLOOR PLAN PART B - DIMENSIONED
A1.02	SECOND FLOOR PLAN - ORIENTATION
A1.02AD	SECOND FLOOR PLAN - DIMENSIONED
A1.50	ROOF PLAN OVERALL
A1.50A	ROOF PLAN PART A
A1.50B	ROOF PLAN PART B
A2.00	3D EXTERIOR ELEVATIONS
A2.01	EXTERIOR ELEVATIONS
A2.02	EXTERIOR ELEVATIONS
A2.03	EXTERIOR ELEVATIONS
A3.01	STAIR PLANS, SECTIONS & DETAILS
A3.02	STAIR PLANS, SECTIONS & DETAILS
A3.51	WALL SECTION
A3.52	WALL SECTION
A3.53	WALL SECTION
A3.54	WALL SECTION
A3.55	WALL SECTION
A3.56	WALL SECTIONS & DETAILS

SITE SURVEY - FOR REFERENCE ONLY

SHEET 1 OF 5	TOPOGRAPHIC SURVEY
SHEET 2 OF 5	ALTA / ACSM LAND TITLE SURVEY
SHEET 3 OF 5	ALTA / ACSM LAND TITLE SURVEY
SHEET 4 OF 5	ALTA / ACSM LAND TITLE SURVEY
SHEET 5 OF 5	ALTA / ACSM LAND TITLE SURVEY

MECHANICAL, ELECTRICAL AND PLUMBING - FOR REFERENCE ONLY (NOT FOR CONSTRUCTION)

M1.03A	PARTIAL ROOF HVAC PLAN PART A
M1.03B	PARTIAL ROOF HVAC PLAN PART B
M5.02	HVAC SCHEDULES
E3.01	ELECTRICAL SITE PLAN
E3.02	ELECTRICAL SITE UTILITY PLAN
P1.00A	PARTIAL UNDERGROUND PLUMBING PLAN PART A
P1.00B	PARTIAL UNDERGROUND PLUMBING PLAN PART B
P1.01A	PARTIAL FIRST FLOOR PLUMBING PLAN PART A
P1.01B	PARTIAL FIRST FLOOR PLUMBING PLAN PART B
P3.02	PLUMBING DETAILS AND DIAGRAMS

## EXHIBIT "H"

**5.0 Construction Phase General Conditions GMP**

General Conditions: Bulley & Andrews, LLC evaluates the cost for General Conditions for a project of this type and complexity to be \$1,054,177 based on an 18-month schedule.

General Conditions include the following:

**Project Staff**

Project Executives	No Charge	
Project Managers/Project Engineers	\$362,217	5,105 Hours
Project Superintendent (full-time, on-site)	\$327,319	3,120 Hours
Project Accountant	\$3,280	78 Hours
Safety Coordinator/General Superintendent	\$47,210	584 Hours
Sub-Total:		\$740,026

**Project Overhead**

GC Site Office	\$18,486	
Phone, Fax & Computer	\$16,092	
Messenger	\$9,468	
Portable Toilets/Water	\$9,180	
Blueprinting during Construction	\$11,700	
Periodic Cleanup	\$172,380	
Dumpsters	\$25,200	
Sub-Total:		\$262,506

## Clarifications:

1. Based on an 18-month construction schedule and one-month of added time for commissioning
2. Utility costs are not included
3. Blueprinting, messengering and shipping type expenses incurred during preconstruction shall be considered preconstruction expenses and are not included in general conditions costs

**Tools/Equipment/Hoisting**

Small Tools	\$9,000	
Trucking/Cartage	\$29,145	
Sub-Total:		\$38,145

**Miscellaneous**

Misc. Expenses	\$13,500	
Sub-Total:		\$13,500

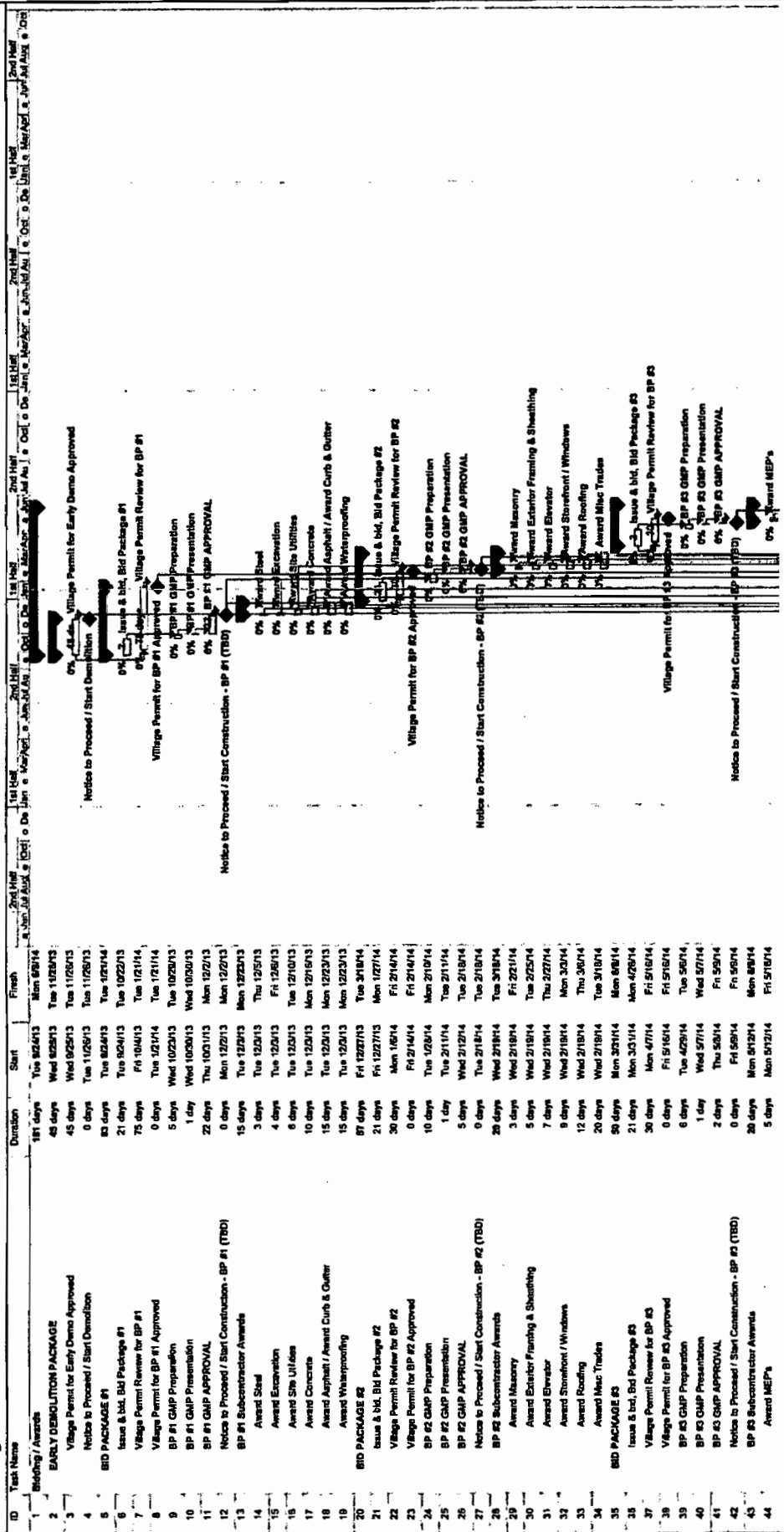
**Total General Conditions: \$1,054,177**



Exhibit "I" - Schedule

**Bulley & Andrews, LLC**

**Adventist Cancer Institute - GMP Construction Schedule - Bid Package #1**



**Task Legend:**

- Task Progress: [Solid Bar]
- Critical Task: [Bar with Diamond]
- Baseline: [Dashed Bar]
- Milestone: [Diamond]
- Baseline Milestone: [Diamond]
- Summary: [Thick Bar]

**Task Legend (continued):**

- Roll Up Task: [Bar with Arrow]
- Roll Up Critical Task: [Bar with Arrow and Diamond]
- Roll Up Milestone: [Bar with Diamond]
- Baseline Summary: [Bar with Arrow]
- Summary: [Thick Bar]

**External Tasks Legend:**

- Project Summary: [Bar with Arrow]
- Group By Summary: [Bar with Arrow]
- Deadline: [Bar with Arrow]

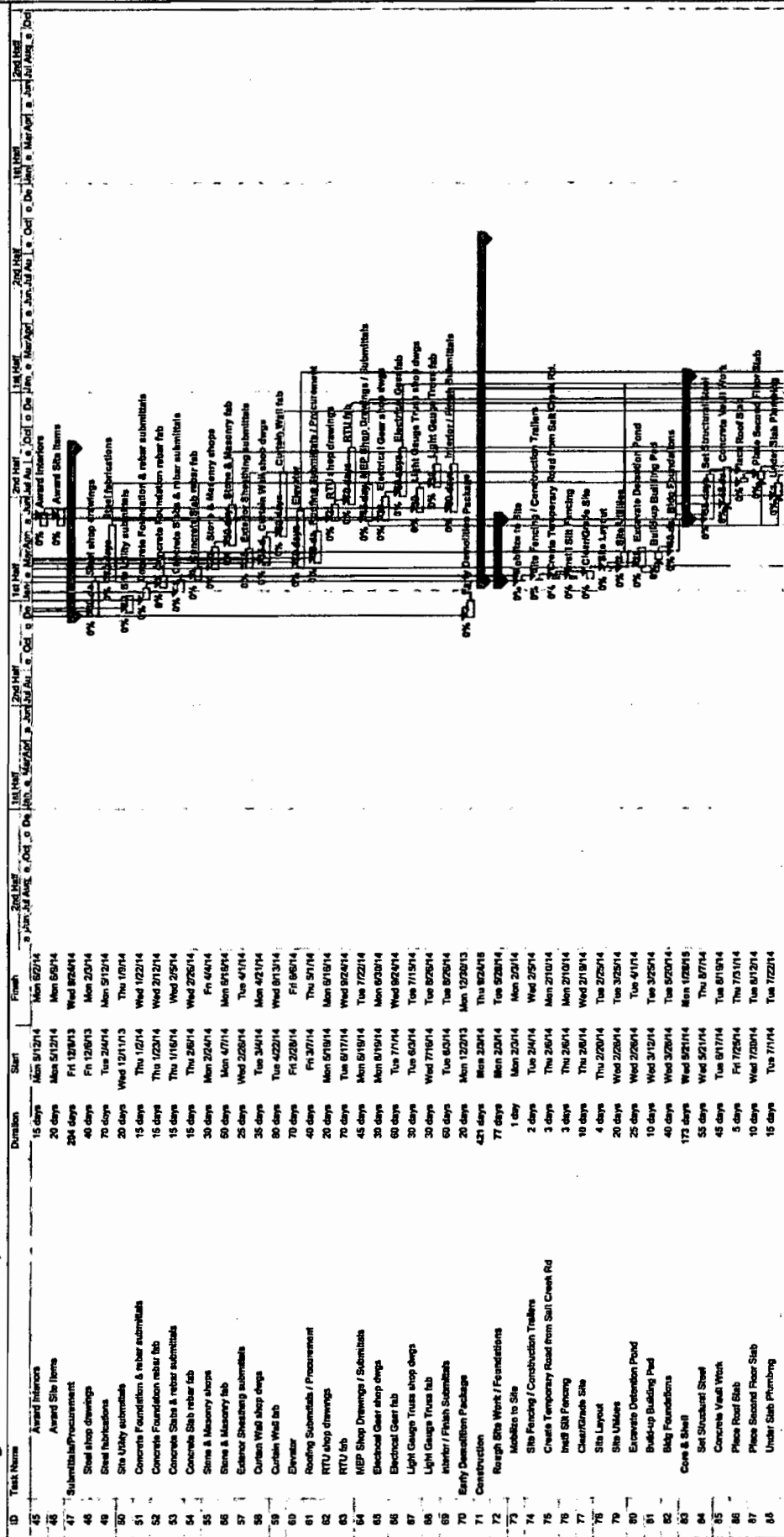
**Project Initial Schedule:** Other Thu 1/16/14

**Page 1**

**Bulley & Andrews, LLC**

# Bulley & Andrews, LLC

## Adventist Cancer Institute - GMP Construction Schedule - Bid Package #1



Project / Inad schedule Date: Thu 11/8/14

Task:  Task Progress  Milestone  Milestone  Milestone  Summary  Summary

Task Progress:  Critical Task:  Critical Task Progress:

External Tasks:

Group By Summary:

Deadline:

Robbed Up Baseline:

Robbed Up Baseline Milestone:

Robbed Up Progress:

Split:

Robbed Up Task:

Robbed Up Critical Task:

Robbed Up Milestone:

Baseline Summary:

Page 2

Bulley & Andrews, LLC

# Bulley & Andrews, LLC

## Adventist Cancer Institute - GMP Construction Schedule - Bid Package #1

ID	Task Name	SOG	Start	Finish	Duration	1st Week	2nd Week	3rd Week	4th Week
90	Exterior Steel Framing	10 days	Wed 08/13/14	Tue 08/19/14	10 days				
91	Exterior Sheathing & Air Barrier	30 days	Wed 08/13/14	Wed 09/10/14	30 days				
92	Set Light Gauge Trusses	8 days	Thu 08/21/14	Mon 08/25/14	8 days				
93	Masonry Cladding	65 days	Thu 08/14/14	Thu 10/16/14	65 days				
94	Install Roofing	25 days	Fri 11/28/14	Mon 12/15/14	25 days				
95	Set RTUs	7 days	Fri 12/12/14	Mon 12/22/14	7 days				
96	Install Curtainwall, Stovefront & Entrances	40 days	Fri 11/28/14	Mon 12/29/14	40 days				
97	Shell & Core Complete	0 days	Mon 12/29/14	Mon 12/29/14	0 days				
98	Interior construction	180 days	Fri 12/19/14	Fri 07/11/15	180 days				
99	First Floor Work	180 days	Fri 12/19/14	Fri 07/11/15	180 days				
100	MEP ceiling rough	20 days	Fri 12/19/14	Mon 01/19/15	20 days				
101	Door Frames	8 days	Tue 01/06/15	Thu 01/15/15	8 days				
102	Frame Walls	15 days	Wed 01/07/15	Tue 01/27/15	15 days				
103	MEP Wall Rough	25 days	Wed 01/07/15	Tue 02/03/15	25 days				
104	Slab Moisture Mitigation	15 days	Wed 01/07/15	Tue 01/27/15	15 days				
105	Drywall	25 days	Wed 01/07/15	Tue 02/03/15	25 days				
106	Prime Paint	10 days	Mon 02/02/15	Fri 02/06/15	10 days				
107	Ceiling Grid	15 days	Mon 02/02/15	Fri 02/06/15	15 days				
108	MEP ceiling drops	15 days	Wed 01/14/15	Tue 01/27/15	15 days				
109	ACT / Drywall Ceilings	12 days	Fri 02/06/15	Mon 02/16/15	12 days				
110	Milework	30 days	Wed 02/04/15	Wed 03/11/15	30 days				
111	MEP trim	10 days	Tue 02/10/15	Tue 02/24/15	10 days				
112	Flooring	25 days	Wed 02/04/15	Wed 03/11/15	25 days				
113	Doors & Hardware	20 days	Thu 01/15/15	Wed 02/04/15	20 days				
114	Finish Paint	12 days	Thu 01/15/15	Fri 02/06/15	12 days				
115	Final Clean	5 days	Mon 02/09/15	Fri 02/13/15	5 days				
116	Second Floor Work	140 days	Tue 02/10/15	Fri 07/10/15	140 days				
117	MEP ceiling rough	8 days	Tue 02/10/15	Thu 02/12/15	8 days				
118	Door Frames	5 days	Tue 02/10/15	Mon 02/23/15	5 days				
119	Frame Walls	8 days	Fri 02/20/15	Tue 02/24/15	8 days				
120	MEP Wall Rough	15 days	Mon 02/23/15	Fri 03/06/15	15 days				
121	Slab Moisture Mitigation	5 days	Wed 02/25/15	Tue 03/03/15	5 days				
122	Drywall	15 days	Wed 02/25/15	Tue 03/17/15	15 days				
123	Prime Paint	5 days	Tue 03/17/15	Mon 03/23/15	5 days				
124	Ceiling Grid	10 days	Fri 03/20/15	Thu 04/02/15	10 days				
125	MEP Ceiling Drops	10 days	Tue 03/31/15	Mon 04/13/15	10 days				
126	ACT / Drywall Ceilings	7 days	Mon 04/13/15	Tue 04/21/15	7 days				
127	Milework	10 days	Tue 04/14/15	Mon 04/27/15	10 days				
128	MEP trim	7 days	Fri 05/15/15	Mon 05/18/15	7 days				
129	Flooring	10 days	Tue 05/05/15	Mon 05/18/15	10 days				
130	Doors & Hardware	10 days	Thu 04/30/15	Wed 05/13/15	10 days				
131	Finish Paint	7 days	Thu 07/09/15	Wed 07/15/15	7 days				
132	Final Clean	2 days	Thu 07/09/15	Fri 07/10/15	2 days				

Project: Initial schedule  
Date: Thu 01/01/14

Task Progress:

Critical Task:

External Tasks:

Baseline Milestone:

Milestone:

Summary:

Roll Up Task:

Roll Up Critical Task:

Roll Up Milestone:

Baseline Summary:

Roll Up Baseline Milestone:

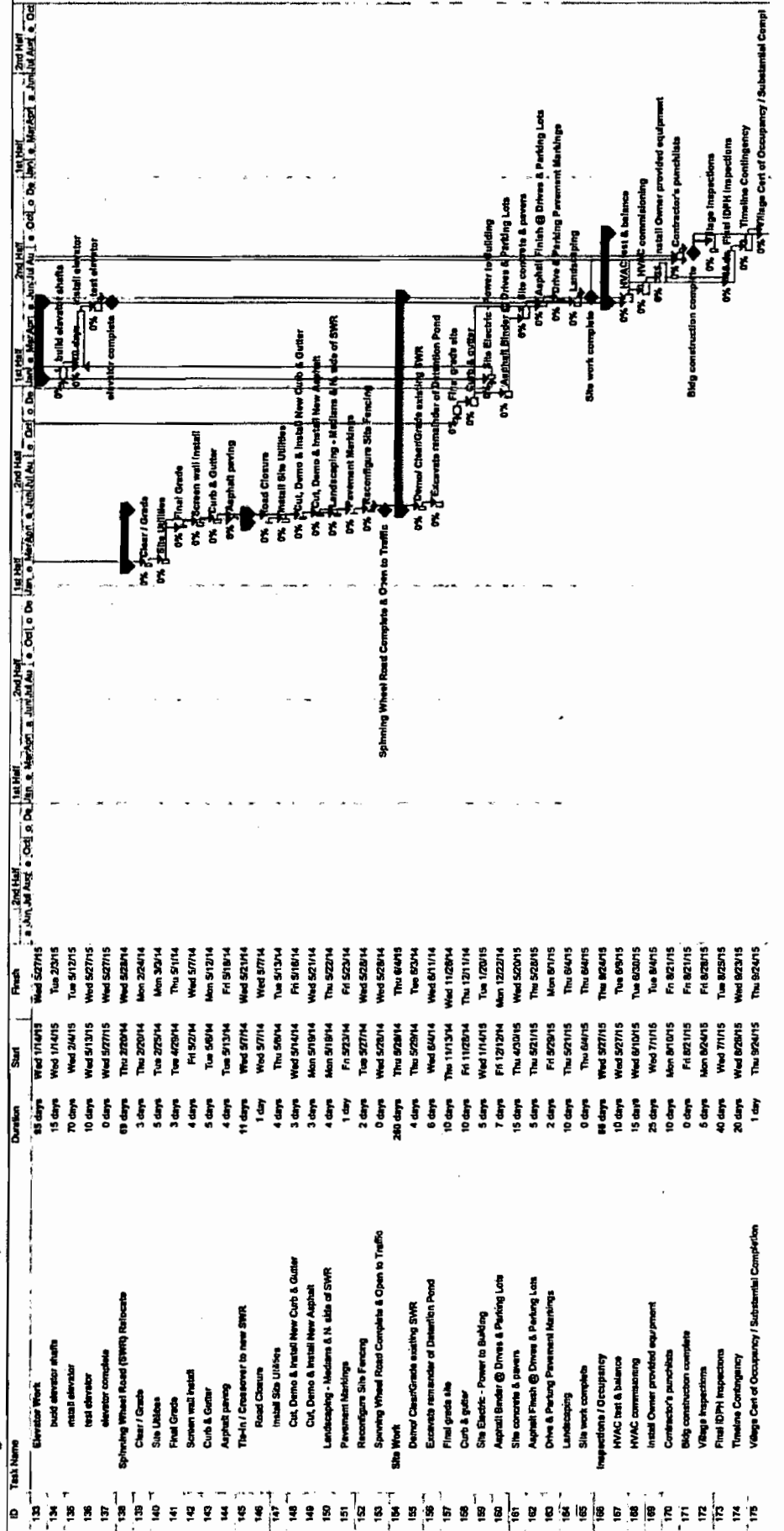
Project Summary:

Group By Summary:

Deadline:

# Bulley & Andrews, LLC

## Adventist Cancer Institute - GMP Construction Schedule - Bid Package #1



Task Progress Critical Task Critical Task Progress Baseline Milestone Baseline Milestone Summary Roll Up Task Roll Up Critical Task Roll Up Milestone Baseline Summary Roll Up Baseline Roll Up Milestone Roll Up Progress SPR External Task Project Summary Group By Summary Deadline

Project: Initial schedule  
 Date: Thu 1/18/14

Bulley & Andrews, LLC

Exhibit "J"

BID PACKAGE #1 SCHEDULE OF VALUES

20-Dec-13

NAME OF CONTRACTOR/ COST CODE / WORK COMPLETED	ADJUSTED TOTAL CONTRACT (INC. EXTRAS & CREDITS)	WORK COMPLETED		RETENTION HELD THIS APPLICATION	AMOUNT PREVIOUSLY PAID	AMOUNT OF THIS PAYMENT	BALANCE TO BECOME DUE
		%	Dollar Value				
Bulley & Andrews LLC General Conditions	\$ 421,392.00		\$ -	\$ -	\$ -	\$ -	\$ 421,392.00
Bulley & Andrews LLC Premium Time ALLOWANCE	\$ 3,000.00		\$ -	\$ -	\$ -	\$ -	\$ 3,000.00
Bulley & Andrews LLC Comcast Service	\$ 2,000.00		\$ -	\$ -	\$ -	\$ -	\$ 2,000.00
Bulley & Andrews LLC Safety Rails	\$ 142,234.00		\$ -	\$ -	\$ -	\$ -	\$ 142,234.00
Bulley & Andrews LLC Temp Barricades and Signage	\$ 100,000.00		\$ -	\$ -	\$ -	\$ -	\$ 100,000.00
Bulley & Andrews LLC Temporary Fencing	\$ 15,000.00		\$ -	\$ -	\$ -	\$ -	\$ 15,000.00
Bulley & Andrews LLC Temp. Utilities ALLOWANCE	\$ 50,000.00		\$ -	\$ -	\$ -	\$ -	\$ 50,000.00
Bulley & Andrews LLC Street Cleaning	\$ 15,000.00		\$ -	\$ -	\$ -	\$ -	\$ 15,000.00
Bulley & Andrews LLC Material Lift	\$ 5,000.00		\$ -	\$ -	\$ -	\$ -	\$ 5,000.00
Bulley & Andrews LLC Winter Conditions ALLOWANCE	\$ 200,000.00		\$ -	\$ -	\$ -	\$ -	\$ 200,000.00
Bulley & Andrews LLC Building Permit Fee	\$ 25,000.00		\$ -	\$ -	\$ -	\$ -	\$ 25,000.00
Bulley & Andrews LLC Payment & Performance Bond	\$ 42,481.00		\$ -	\$ -	\$ -	\$ -	\$ 42,481.00
Bulley & Andrews LLC Subguard	\$ 91,246.00		\$ -	\$ -	\$ -	\$ -	\$ 91,246.00
to be determined Surveying	\$ 56,000.00		\$ -	\$ -	\$ -	\$ -	\$ 56,000.00
Bulley & Andrews LLC Job Photos	\$ 6,500.00		\$ -	\$ -	\$ -	\$ -	\$ 6,500.00
N/A Demolition	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -
to be determined Excavation	\$ 559,028.00		\$ -	\$ -	\$ -	\$ -	\$ 559,028.00
Bulley & Andrews LLC Temporary Roads	\$ 30,000.00		\$ -	\$ -	\$ -	\$ -	\$ 30,000.00
Bulley & Andrews LLC Unsuitable/Contaminated Soils ALLOWANCE	\$ 100,000.00		\$ -	\$ -	\$ -	\$ -	\$ 100,000.00
to be determined Asphalt Paving	\$ 421,000.00		\$ -	\$ -	\$ -	\$ -	\$ 421,000.00
to be determined Site Utilities	\$ 516,696.00		\$ -	\$ -	\$ -	\$ -	\$ 516,696.00
Bulley & Andrews LLC Dewatering ALLOWANCE	\$ 15,000.00		\$ -	\$ -	\$ -	\$ -	\$ 15,000.00
to be determined Site Concrete	\$ 235,340.00		\$ -	\$ -	\$ -	\$ -	\$ 235,340.00
N/A Landscaping	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -
to be determined Building Concrete	\$ 1,360,000.00		\$ -	\$ -	\$ -	\$ -	\$ 1,360,000.00
to be determined Structural Steel	\$ 1,643,000.00		\$ -	\$ -	\$ -	\$ -	\$ 1,643,000.00
to be determined Waterproofing	\$ 24,250.00		\$ -	\$ -	\$ -	\$ -	\$ 24,250.00
to be determined Exterior Sealants	\$ 8,000.00		\$ -	\$ -	\$ -	\$ -	\$ 8,000.00

N/A							
Flag Poles	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -
N/A							
Signage	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -
N/A							
Parking Controls	\$ -		\$ -	\$ -	\$ -	\$ -	\$ -
to be determined							
Temp Site Electric	\$ 25,000.00		\$ -	\$ -	\$ -	\$ -	\$ 25,000.00
Bulley & Andrews LLC							
General Liability Insurance	\$ 61,743.00		\$ -	\$ -	\$ -	\$ -	\$ 61,743.00
Bulley & Andrews LLC							
Contingency	\$ 125,570.00		\$ -	\$ -	\$ -	\$ -	\$ 125,570.00
Bulley & Andrews LLC							
Fee	\$ 104,623.00		\$ -	\$ -	\$ -	\$ -	\$ 104,623.00
<b>TOTAL</b>	<b>\$6,404,103.00</b>		<b>\$0.00</b>	<b>\$0.00</b>	<b>\$ -</b>	<b>\$0.00</b>	<b>\$6,404,103.00</b>

Original Contract Amount \$ 6,404,103.00  
Extras/Credits \$ -  
Total Adjusted Contract \$ 6,404,103.00

Work Completed To Date \$ -  
Less Retention \$ -  
Net Previously Paid \$ -  
Net Amount This Payment \$ -  
Balance to Become Due \$ 6,404,103.00

**BULLEY & ANDREWS**  
General Contractors Since 1891

**EXHIBIT K**  
**GMP Unit Rates – Bid Package #1**  
**December 20, 2013**

Adventist Cancer Institute  
421 E. Ogden Ave.  
Hinsdale, IL 60521

1. THERE ARE NO UNIT RATES REQUIRED.